

# Local Planning Panel

1 August 2018

9 Billyard Avenue, Elizabeth Bay

D/2018/57

Applicant: Mr Theodore Onisforou C/Urbis

Owner: Mr Theodore Onisforou

Architect: Chenchow Little Pty Ltd

Consultant: Urbis

## proposal

- demolition of contributory building
- construction of two x four storey semi-detached dwellings, tree removal, landscaping and car parking
- subdivision of site into two lots
- zoning: R1 General Residential permissible with consent

## recommendation

approval subject to conditions

# notification information

## exhibition period

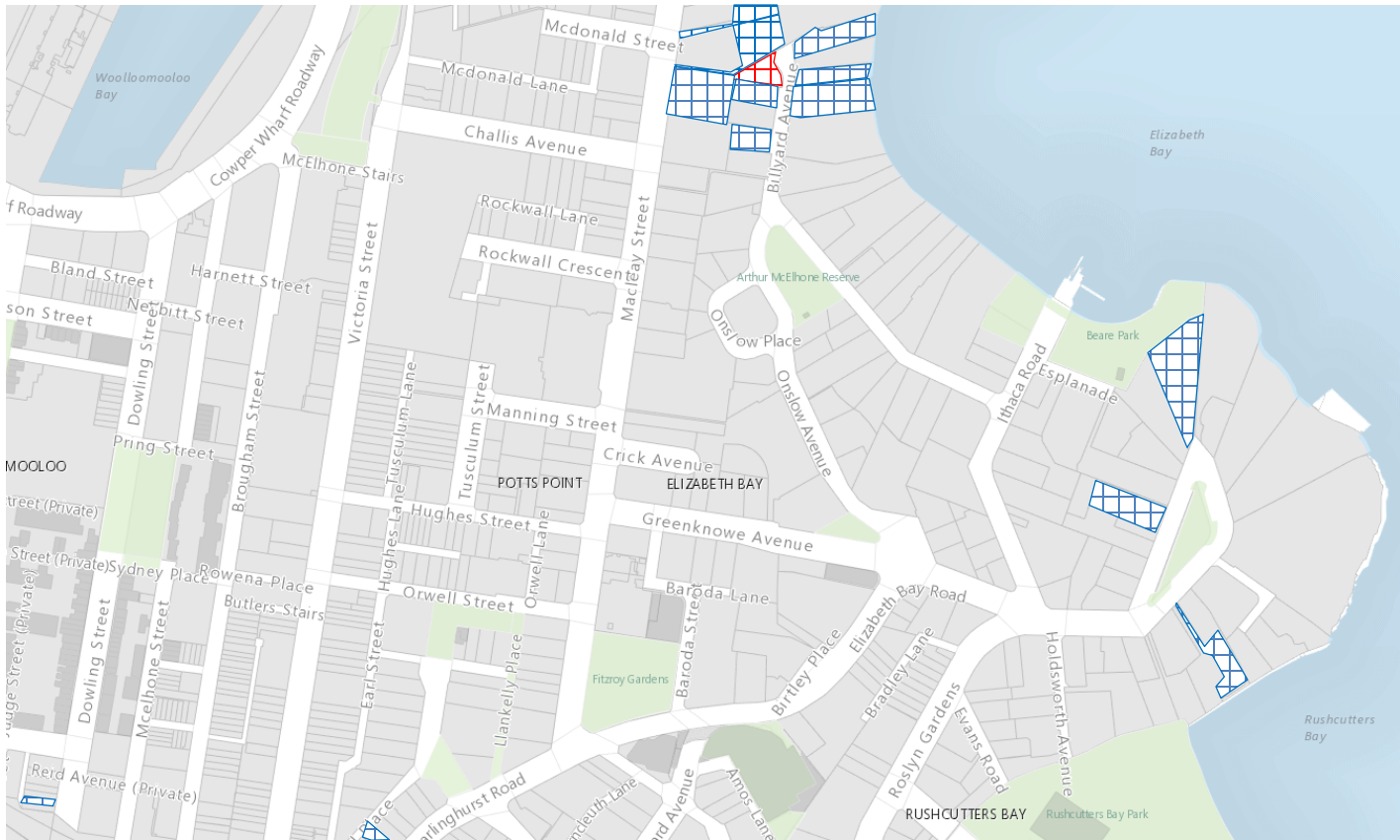
- 5 February to 6 March 2018
- 1066 owners and occupiers notified
- 28 submissions received



## submissions

- excavation impacts, including vibration
- setback
- construction impacts
- demolition of building
- design and impact on streetscape & heritage conservation area

## submissions cont...

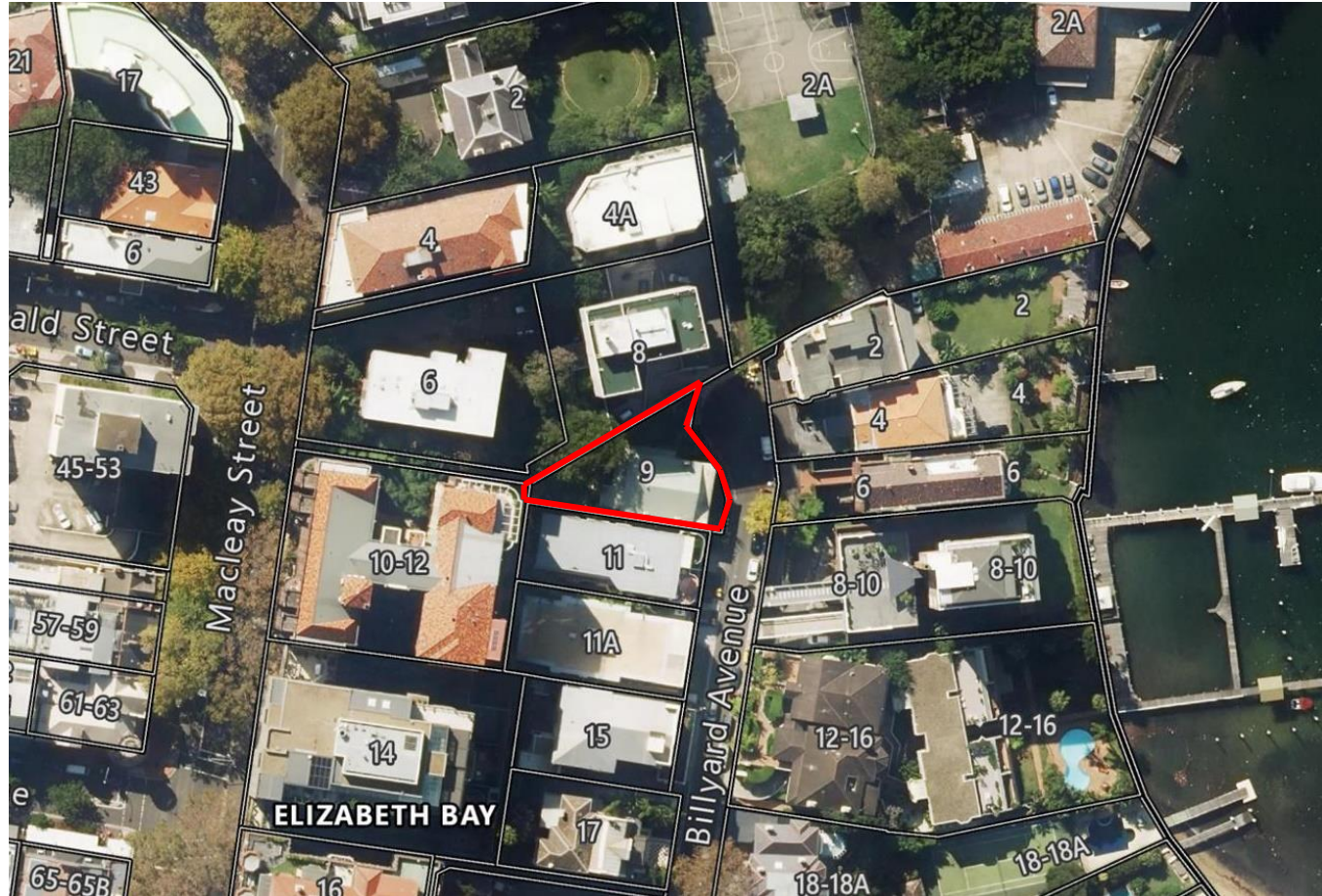
- solar impact
- view loss
- privacy impact
- tree loss
- drainage
- subdivision



 subject site  
 submitters



site









10-12

site

view from Billyard Avenue looking west

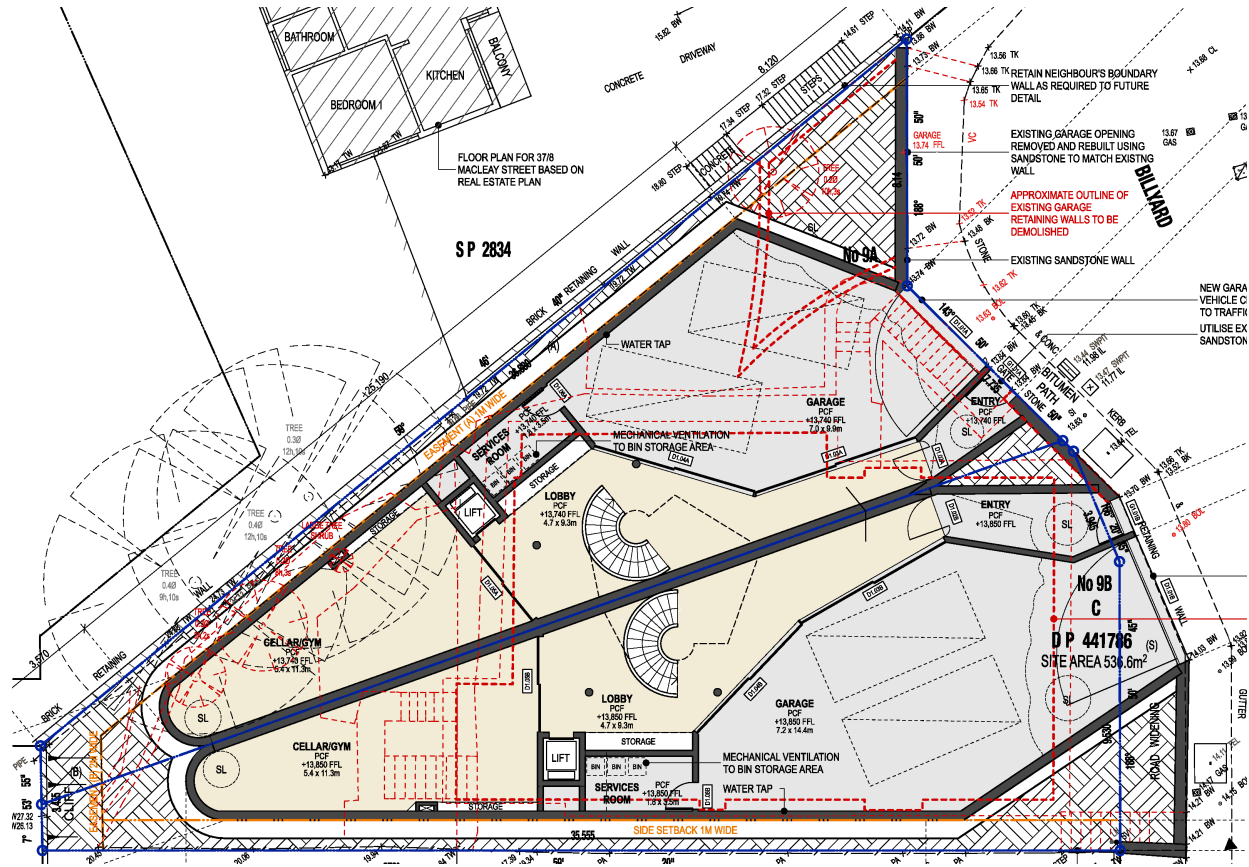




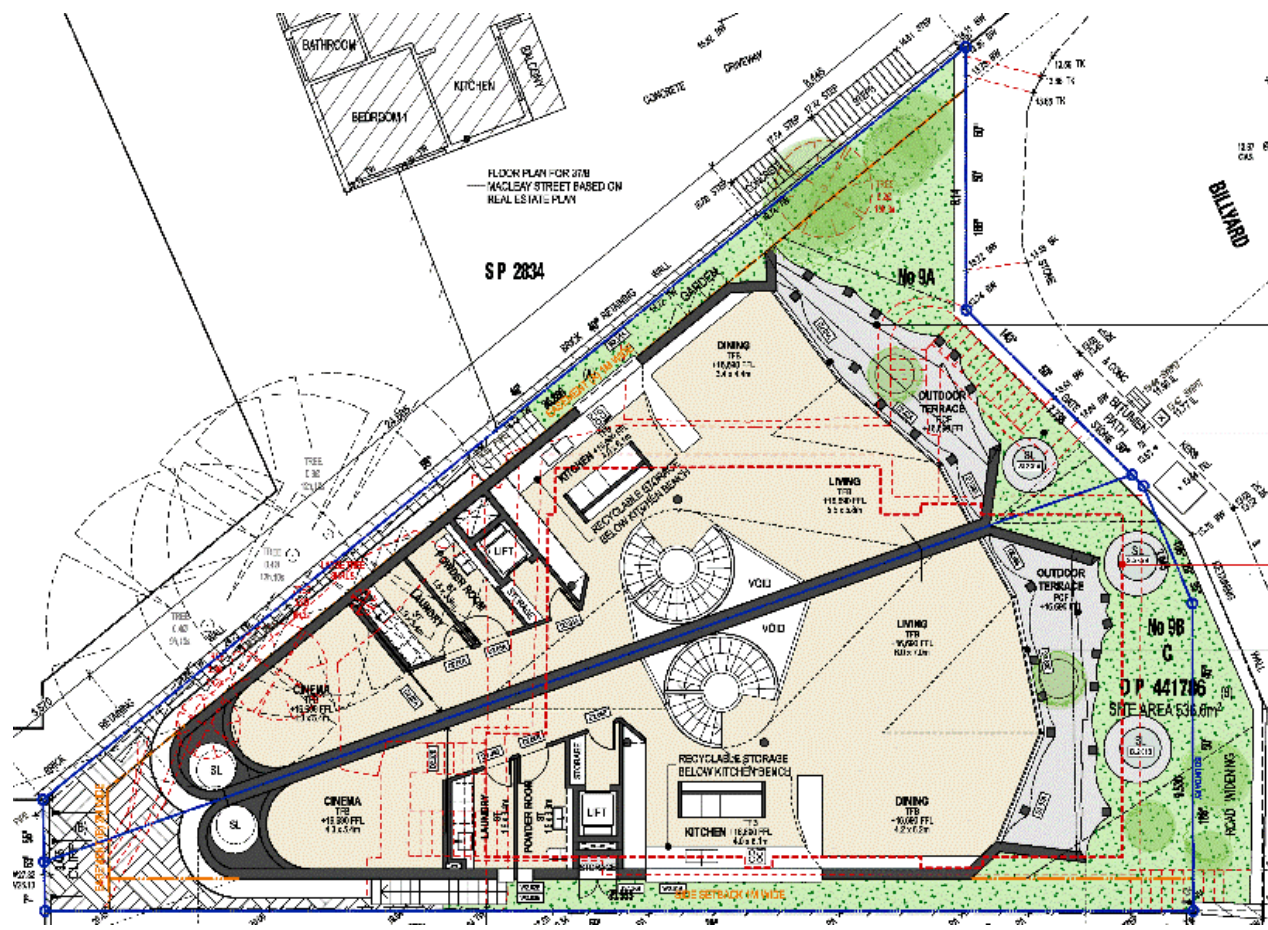
view east from 8 Macleay Street towards 2, 4 & 6 Billyard Avenue



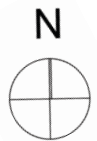
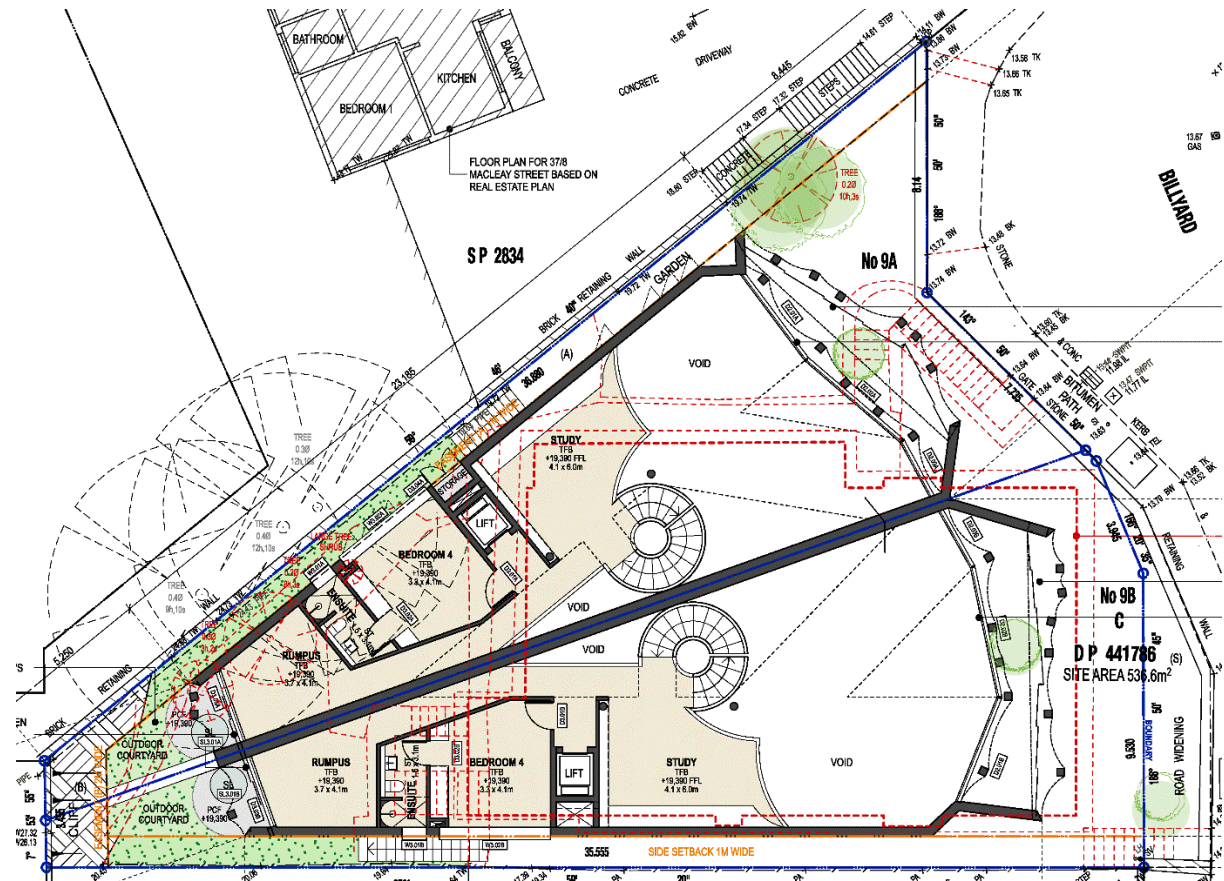
subject site shown in context of Elizabeth Bay



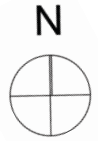
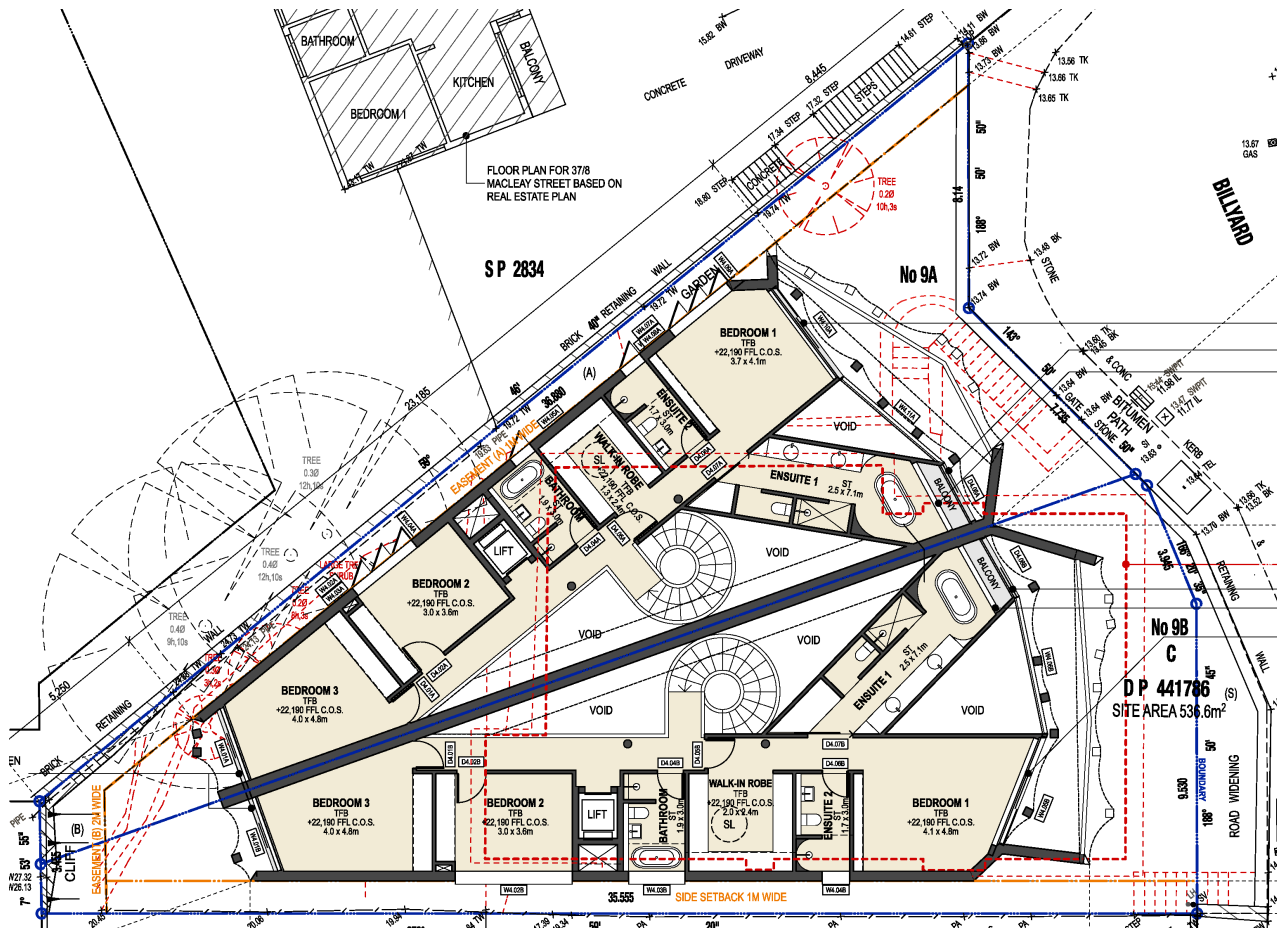
lower ground floor plan



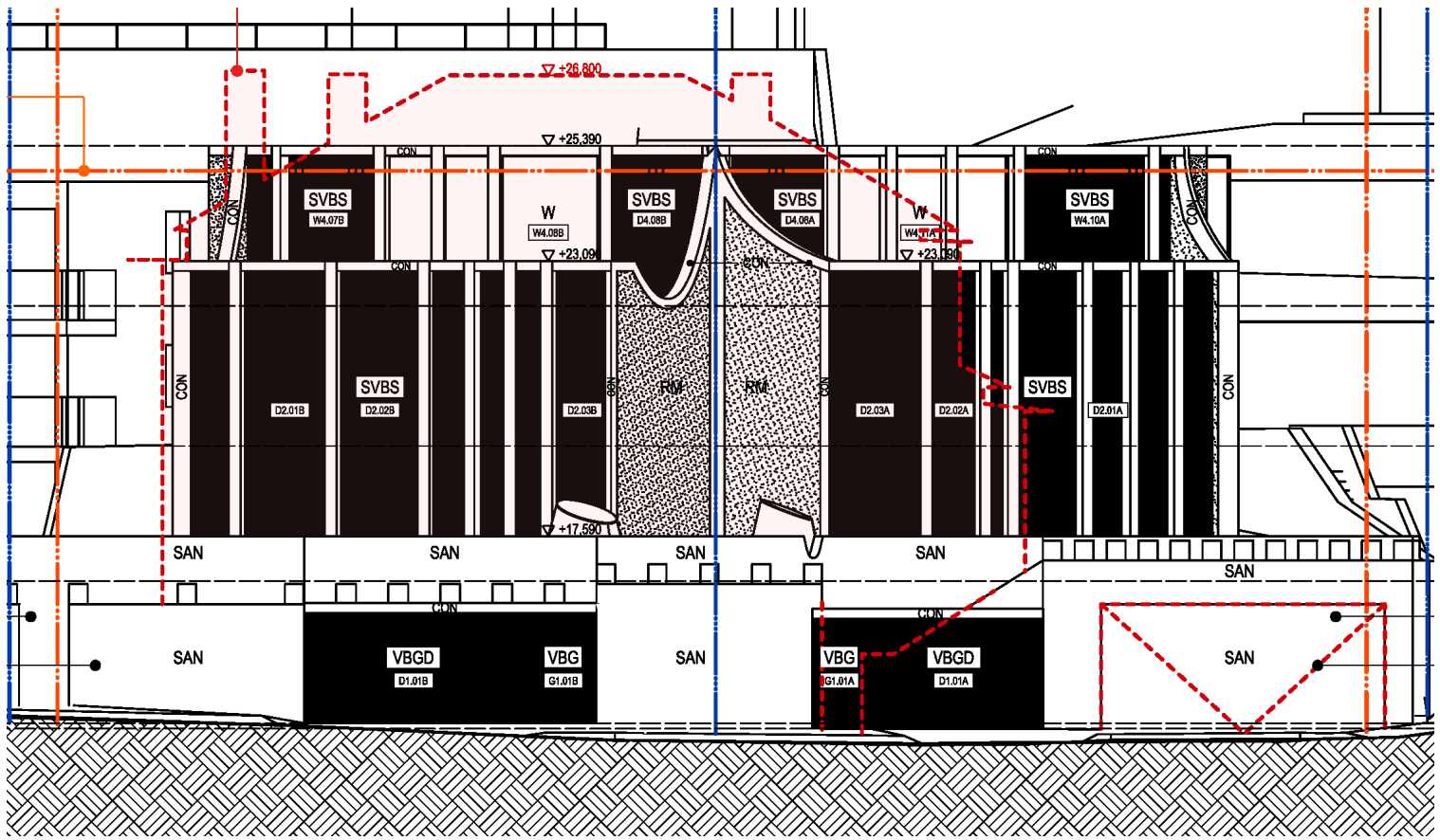
ground floor plan



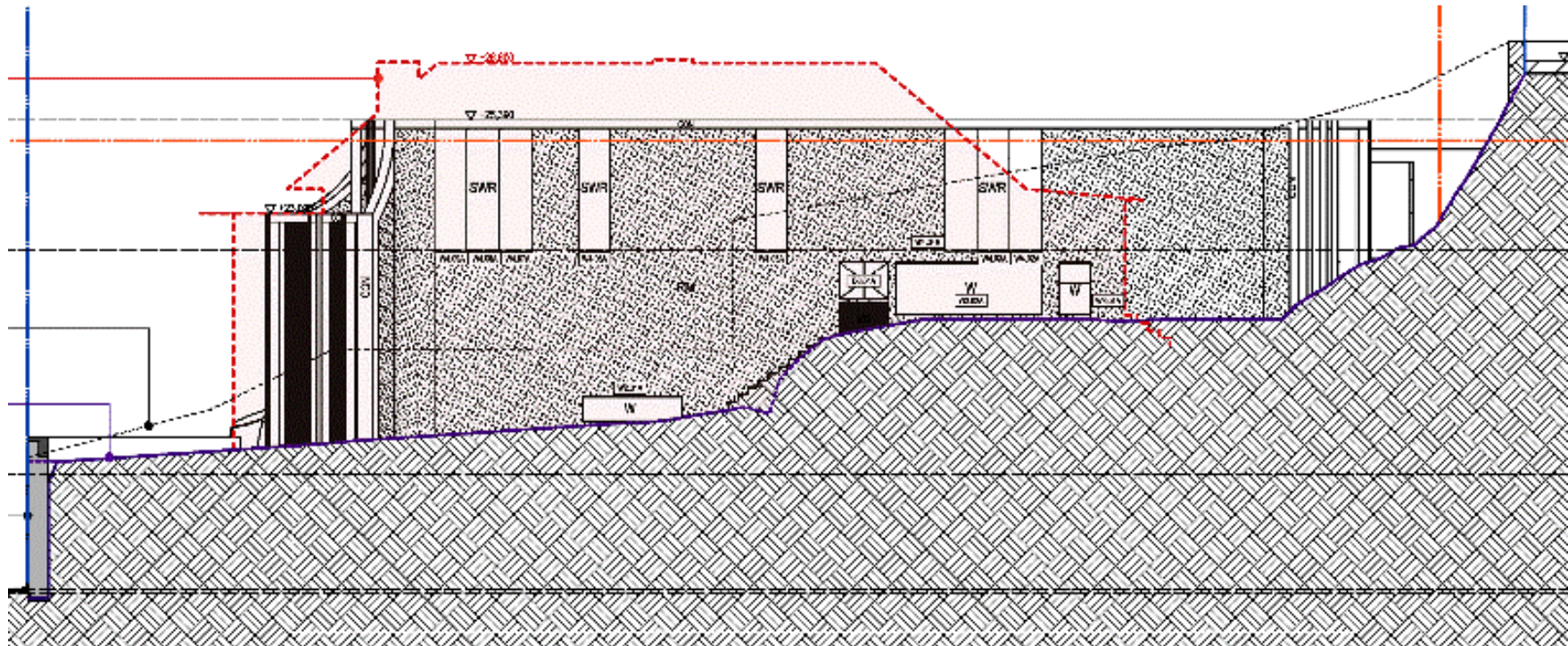
mezzanine plan



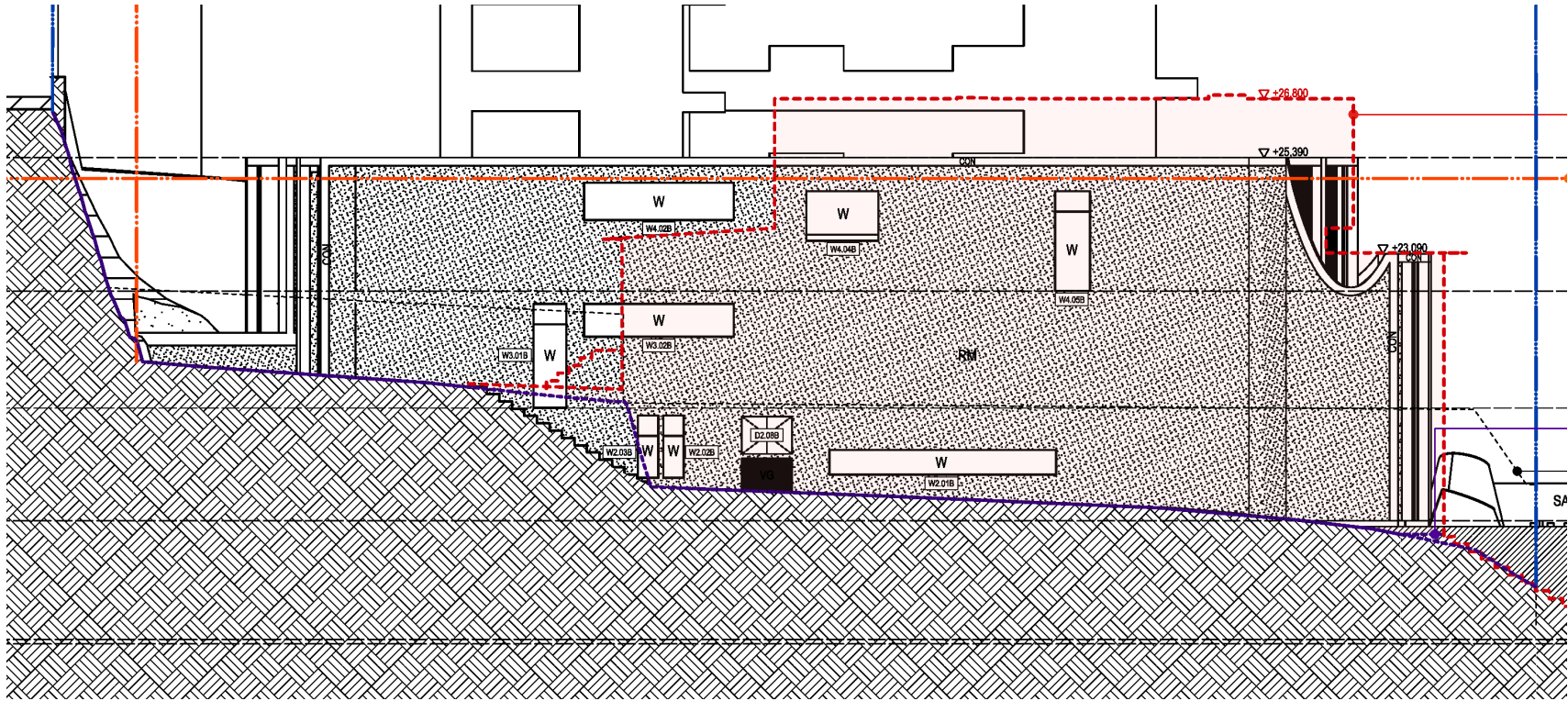




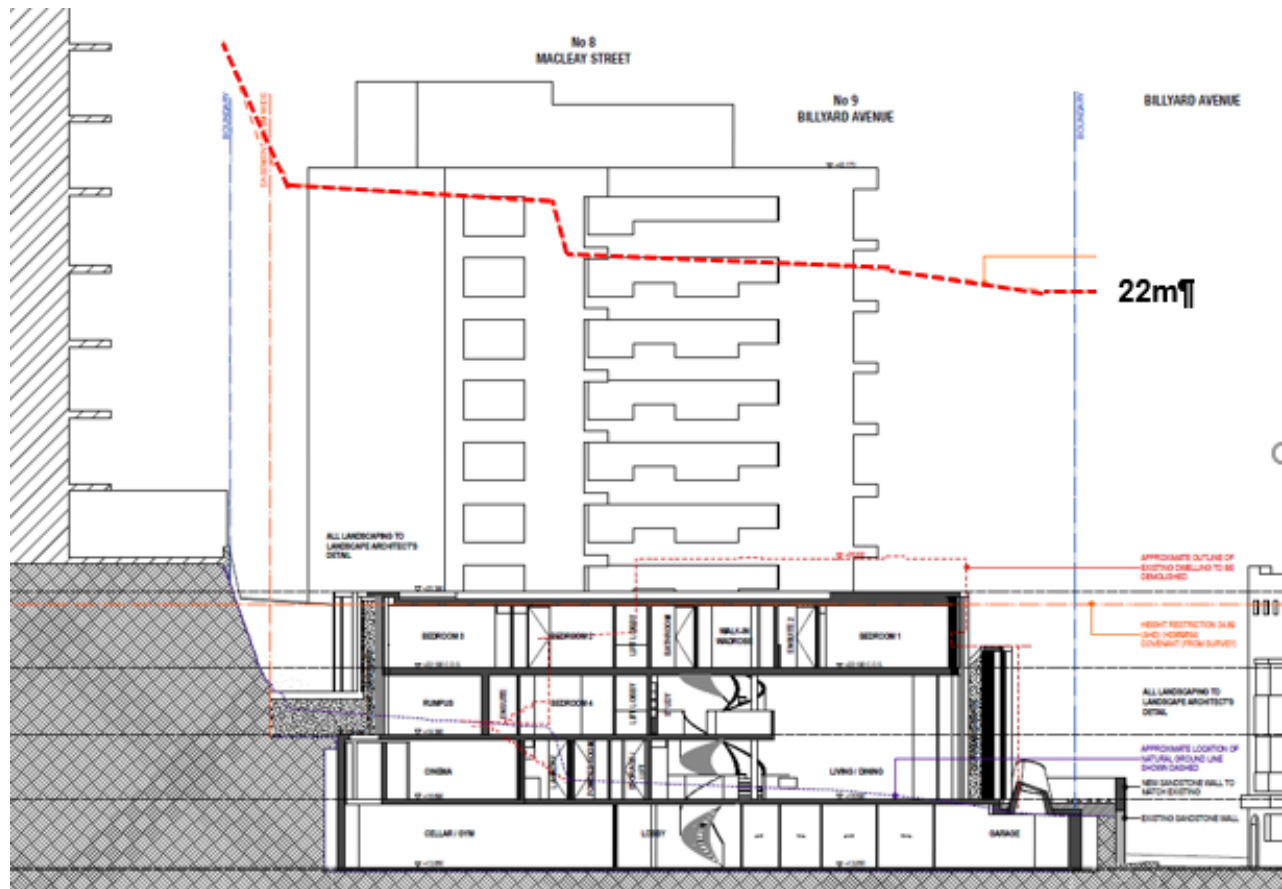
east (street) elevation



north elevation



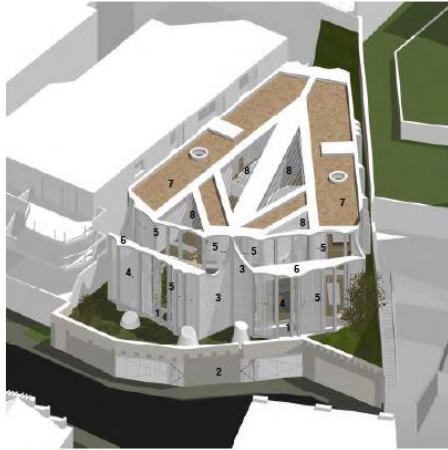
south elevation





**SCHEDULE OF MATERIALS AND FINISHES**

01	CONCRETE SLAB
02	EXISTING SANDSTONE WALL
03	CEMENT RENDERED CAVITY BRICKWORK
04	PRECAST CONCRETE COLUMNS
05	SLIDING ALUMINIUM SHUTTERS, "SURFMIST" POWDERCOAT FINISH
06	CLASS 1 INSITU CONCRETE FINISHING
07	PEBBLE ROOF (TO LANDSCAPE ARCHITECT'S DETAIL)
08	DOUBLE GLAZED SKYLIGHTS
<b>NB:</b> ALL LANDSCAPING TO LANDSCAPE ARCHITECT'S DETAIL	



AXONOMETRIC EAST



01



02



03



04



05



06



07



08

# compliance with key development standards

	control	proposed	compliance
height	22m	8.9m	yes
floor space ratio	2:1	1.45:1m	yes
car parking	max 4	4	yes

## compliance with DCP controls

	control	proposed	compliance
height in storeys	6	4	yes
deep soil	15% of site area	17% 13%	partial
private open space	16m <sup>2</sup>	48.92m <sup>2</sup> 46.78m <sup>2</sup>	yes



## Design Advisory Panel

- DAP reviewed the application on 12 April & 7 June 2018
- satisfied with design and stated *'it has the potential to be an excellent building'*
- treatment of garage doors improved and use of timber supported
- air conditioners to be located in basement
- cinema does not have windows - appropriately conditioned

## issues

- covenant
- demolition of contributory building within HCA
- design excellence
- solar access
- views

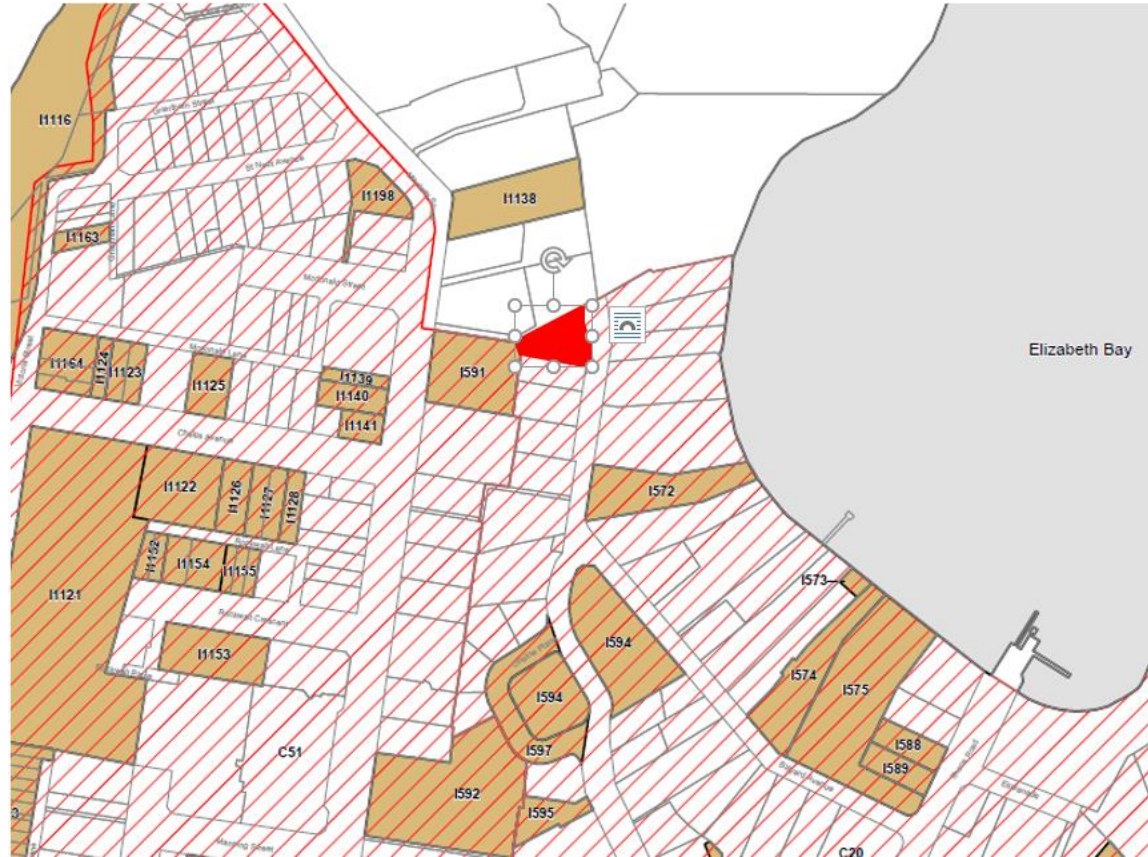
## private covenant

- covenant of 24.89 (AHD) on site benefitting 12 Macleay Street
- existing height is 1.91m above covenant
- proposed height is reduced to 0.5m above covenant
- clause 1.9A of SLEP 2012 overrides private covenant

# demolition of contributory building & streetscape



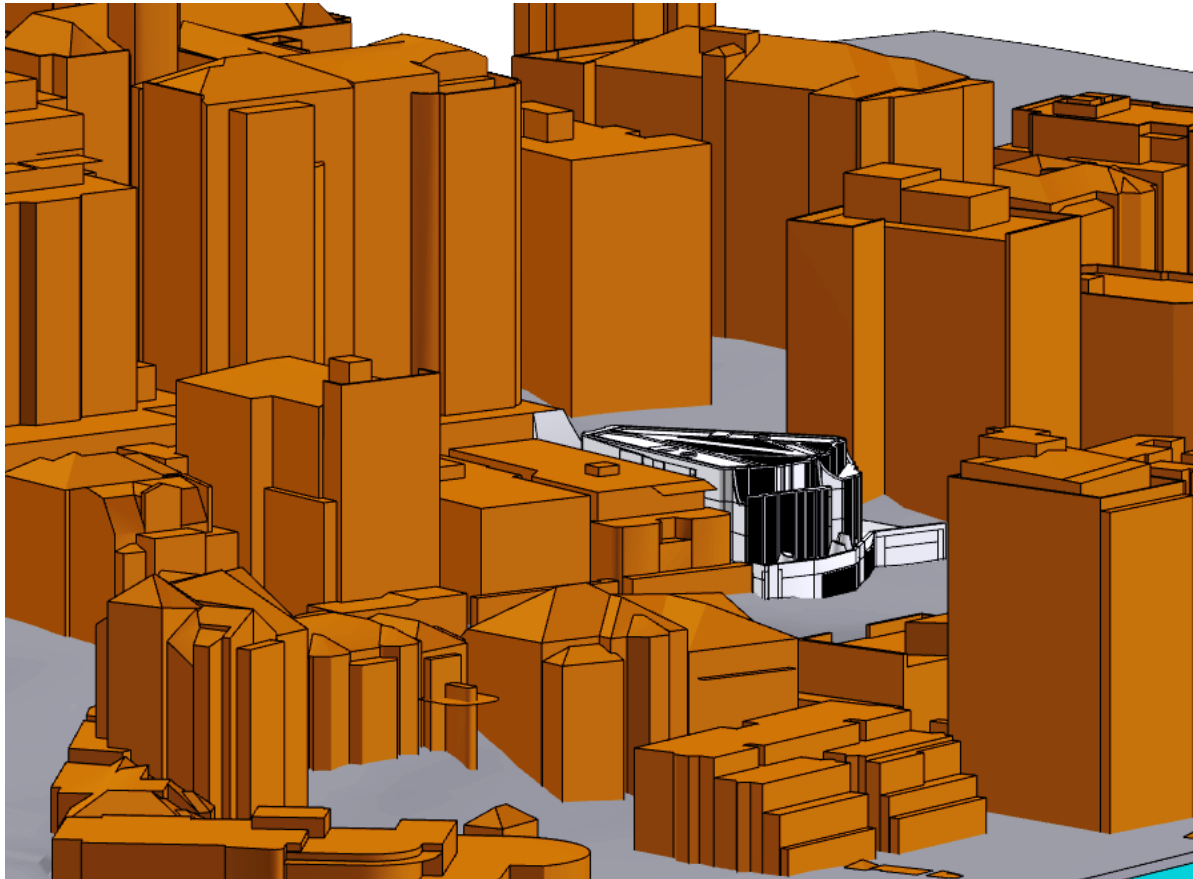
- dwelling substantially modified
- located on edge of HCA & next to detracting building (11)
- contemporary proposal is appropriate scale, form, bulk materials & retention of sandstone wall within heritage area



SLEP 2012 Heritage Conservation Area Map

## design excellence

- substantially lower at 8.9m than 22m height control
- comparable in bulk & scale to neighbouring buildings
- street facade is designed & modulated to achieve balance of privacy & outlook
- use of high quality materials
- sandstone wall retained

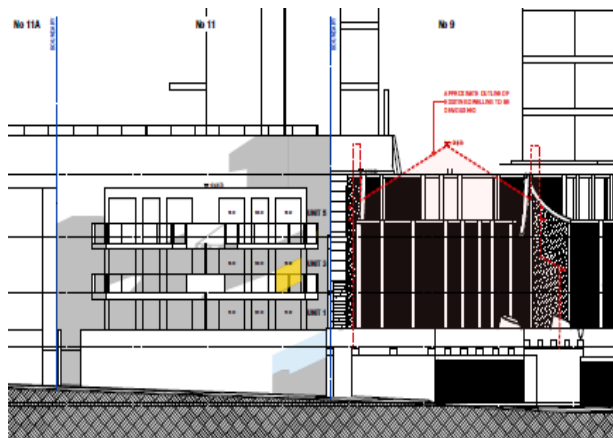


view from the City model of the proposal

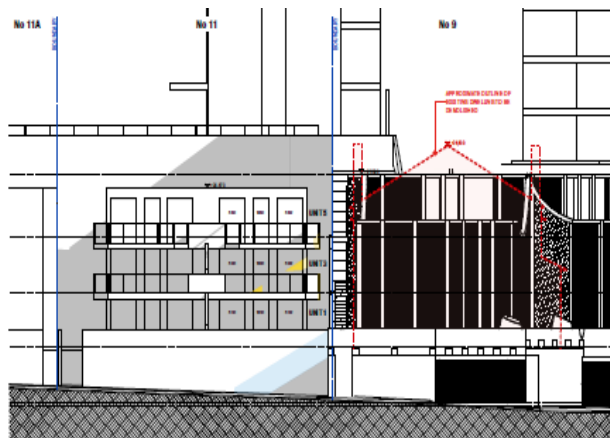
## solar

- generally improves solar access to 11 Billyard Ave
- some additional overshadowing to side elevation; however, not protected by controls

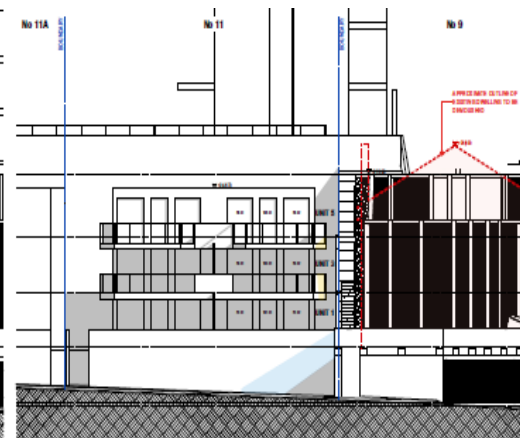




11 BILLYARD AVENUE EAST ELEVATION JUNE 21 9AM



11 BILLYARD AVENUE EAST ELEVATION JUNE 21 10AM



11 BILLYARD AVENUE EAST ELEVATION JUNE 21 11AM

solar access mid-winter – yellow is increase, blue decrease

## view loss

- proposal designed to minimise view loss
- demolition of existing building & reduction in height results in neutral or improved views

## recommendation

approval subject to conditions, including

- vibration
- cinema not to be used as bedroom
- details of sandstone wall